

DETACHED GARAGE

Village of Carol Stream

500 N. Gary Avenue, Carol Stream, IL 60188
Tel: 630-871-6230 Fax: 630-665-1064

CHECKLIST

Completed by Permit Applicant and reviewed by Community Development Staff at submittal.
Additional items required will be circled by Community Development Staff.

- _____ Completed **Application For Permit**
- _____ Completed **DuPage Storm Water Management Permit Application***, if applicable
- _____ Two (2) **Sets of Signed and Sealed Architectural and Structural Plans**
- _____ Two (2) copies of the **Plat of Survey**, drawn to scale, signed and sealed, and showing all existing and proposed structures on the lot including dimensions and distances to lot lines
- _____ Two (2) sets of **roof manufacturer's design calculations and drawings**, signed and sealed by the design professional and having the job address on them
- _____ One (1) copy of **Electrical Contractor's License**, if applicable (unless the homeowner is doing the work)
- _____ One (1) copy of the **Electrical Panel Schedule**

Completed by Community Development Staff upon review of submittal:

- _____ All documentation required for the permit application has been submitted.
- _____ Items circled have not been properly submitted and we are returning your submittal for completion of these items.

Building permit submittal checked by: _____

For questions regarding building permit requirements for a Detached Garage, please contact the Village of Carol Stream Community Development Department at (630)871-6230.

* As determined by Engineering Services

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Detached Garage Permit Requirements

1. *Permit Application:* A completed permit application must be submitted along with two copies of the Plat of Survey showing the exact location and dimensions of the proposed construction and all existing structures on the lot. Two (2) sets of detailed legible drawings must be submitted showing all concrete, framing, electrical, and plumbing work to be done. Plans must be drawn to scale, showing all dimensions, lumber sizes, fixture locations and building materials, and must have elevations showing all exterior sides of the new structure. Refer to the attached example drawing for concrete and framing information requirements. Plans must be signed and sealed by an architect or structural engineer.
2. *Placement on Lot:* All detached garages must meet current zoning requirements as to location. The detached garage must not be erected closer than ten feet (10') from the rear lot line and must not be erected in any required front or side yard. The structures must not be erected in any drainage/utility easement area.
3. *Lot Coverage:* The maximum ground coverage of all structures on the lot must not exceed thirty percent (30%) of the lot area except for decks and pools, which may increase the lot coverage to a maximum of thirty percent (35%).
4. *Design Requirements:*
 - A. Minimum Electrical Requirements:
 - 1) The garage must be provided with at least one duplex receptacle, a minimum of eighteen inches (18") above finished floor.
 - 2) All receptacles must be on a G.F.C.I.
EXCEPTIONS:
 - a) Receptacles that are not readily accessible.
 - b) Receptacle(s) for appliance(s) located within dedicated space(s) for each appliance in normal use, said appliance(s) not easily moved from one place to another, and being cord- and plug-connected.
 - 3) The garage must be provided with an overhead light switched from each doorway.
 - 4) The garage must have a switched outside light at the service door.
 - 5) Electrical service to the garage must be underground, and outside garage lighting must be switched from the house as well as from the garage.
 - 6) All above-grade electrical work must be installed in E.M.T. conduit.

- A Permit is Required Before Any Work Begins -

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Detached Garage Permit Requirements, continued.....

- 7) All below-grade electrical work must be:
 - a) Rigid Metal Conduit, buried at least twelve inches (12") below top of ground, or
 - b) Intermediate Metal Conduit (a lighter wall pipe with threaded couplings), to be buried at least twelve inches (12") below top of ground.
- B. Minimum Engineering Requirements:
 - 1) Driveways must have a minimum slope of 2.50% in the front and side of the house. In the rear, a minimum slope of 0.75% is allowed. The maximum slope must be no more than 10%; however, a desirable maximum of 8% is recommended.
 - 2) Side yard drainage must be maintained.
 - 3) Rear yard drainage must be maintained.
 - 4) Finished grade at the garage must be a minimum of six inches (6") below the top of foundation.
 - 5) Driveways must meet the attached specifications and must be installed prior to issuance of an occupancy permit.
5. *Code Requirements:* Construction and materials must conform to the following Carol Stream codes as amended:
 - A. 2003 International Residential Code.
 - B. 2002 National Electrical Code.
 - C. The current State of Illinois Plumbing Code.

If electrical, plumbing, or HVAC work is to be done by someone other than the homeowner they must be registered as required by State law. All roofing contractors must be licensed by the State of Illinois and must provide their State of Illinois license number on the permit application. **Maximum** height must be fifteen feet (15') from grade to roof.

6. *Inspections:* Inspections required during construction are as follows:
 - A. Pre-pour — after excavation once the footing and foundation is framed, and before placing concrete.
 - B. Framing — after mechanical, electrical and plumbing are roughed in, and before insulating.
 - C. Insulation — after rough inspections and before covering or concealment.
 - D. Final — when construction is completed, and before occupancy or use.

Call **871-6230** to schedule inspection at least twenty-four (24) hours in advance.

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**Detached Garage Permit Requirements,
continued.....**

7. *Bonds:* A Parkway Preservation Bond of \$300 will be required. When work is complete, contact the Engineering Services Department at 871-6220 to schedule an inspection of the parkway area. If no damage has occurred, the Village will refund the bond amount submitted.

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Residential Driveway Improvements Permit Requirements

1. *Permit Application:* All driveway extensions/expansions/resurfacing/reconstruction projects require the submission of a completed permit application together with a copy of the Plat of Survey showing the exact location and dimensions of the existing and the proposed driveway extensions/expansion.
2. *Placement on Lot:* Driveways must be set back a minimum of one foot (1') from any side property line. A driveway may be located in a drainage and/or utility easement provided it does not adversely effect the drainage pattern of the lot or the adjacent lot(s) and it does not alter, modify, or interfere in any way with the utilities located in such an easement. If access to utilities is needed, the Village (or any utility company) may remove, without any responsibility or requirement for replacement, any portion of a driveway located in the easement.
3. *Code Requirements:* The driveway must not exceed twenty feet (20') in width at the property line for a two car garage, and thirty feet (30') in width at the property line for a three car garage on a lot having a minimum width of eighty feet (80') measured at the building line. No driveway on a residential zoning lot is allowed to exceed thirty feet (30') in width.
4. *Construction Specifications:* The Village Code requires the following specifications:
 - Concrete driveway extension/expansion:
 - 6 bag ready-mix concrete
 - 4" gravel (CA6 Coarse Aggregate Gradation)
 - 4" concrete reinforced with 6" x 6" wire mesh
 - Asphalt driveway extension/expansion:
 - 6" gravel (CA6 Coarse Aggregate Gradation)
 - 2" asphalt (Class I Surface Course)
5. *Inspections:* Inspections required during construction are as follows:
 - A. Sub-grade: After excavation, string line for depth and check soil condition.
 - B. Gravel Base: Check for compaction, materials used, string line for proper depth for asphalt for concrete, and mesh when concrete is used.
 - C. Placement of asphalt or concrete: Check for compaction of asphalt or slump for concrete and string line for dips.

Please call the Engineering Services Department at **871-6220** twenty-four (24) hours before each inspection is needed.

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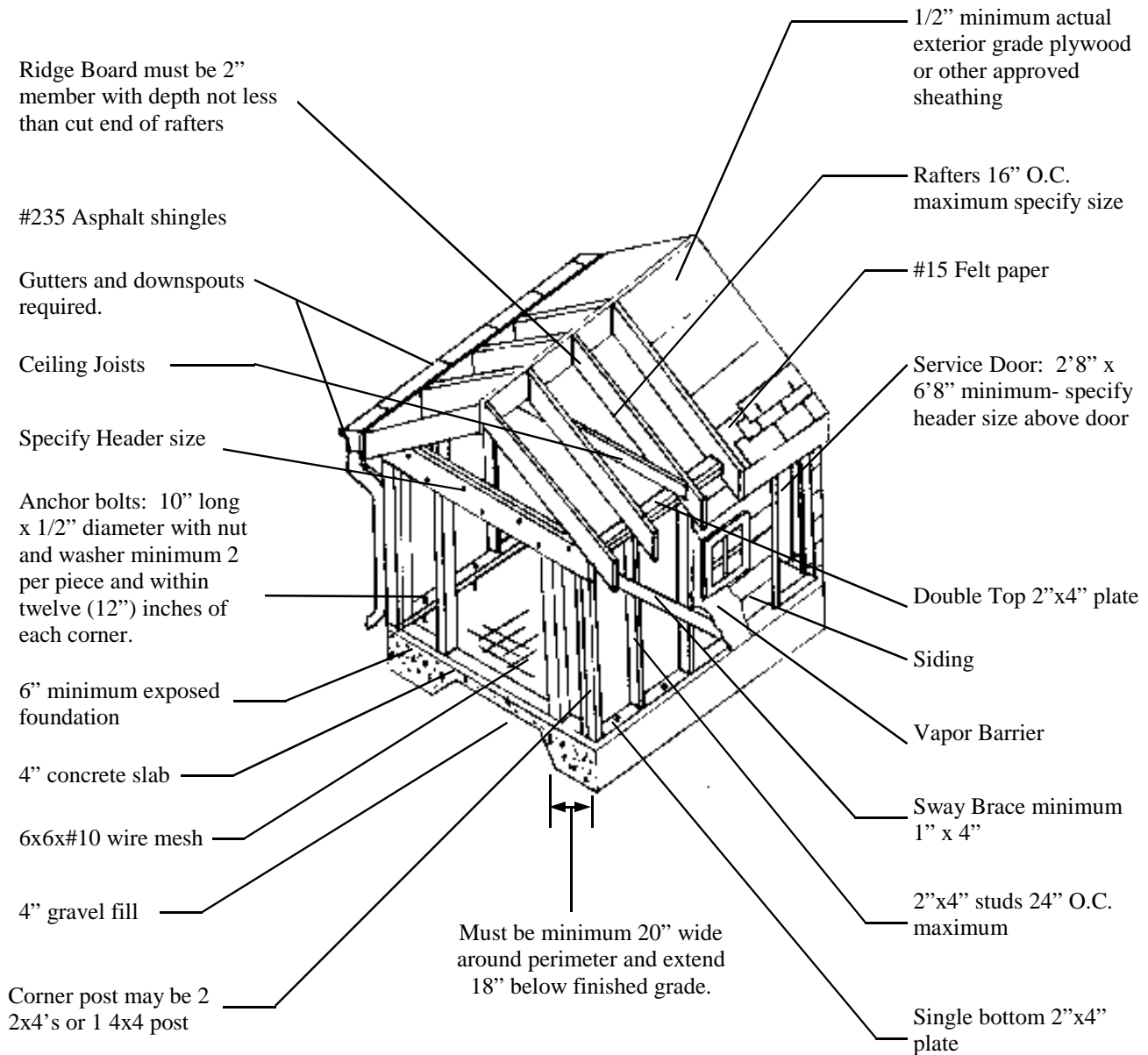
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Residential Driveway Improvements Permit Requirements, continued.....

6. *Bonds*: A Parkway Preservation Bond of \$300 will be required. When work is complete, contact the Engineering Services Department at **871-6220** to schedule an inspection of the parkway area. If no damage has occurred, the Village will refund the bond amount submitted.
7. Property pins need to be located and marked before construction begins and for inspection.

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TYPICAL FRAMING AND CONCRETE REQUIREMENTS FOR DETACHED GARAGES



EXAMPLE ONLY

MUST NOT BE SUBMITTED AS PART OF PLANS

Downspout must have an extension or splash block to direct stormwater a minimum of twenty-four (24") inches away from the structure.