

SHED "B"
(Greater than 144 sq.ft.)

Village of Carol Stream

500 N. Gary Avenue, Carol Stream, IL 60188
Tel: 630-871-6230 Fax: 630-665-1064

CHECKLIST

Completed by Permit Applicant and reviewed by Community Development Staff at submittal.
Additional items required will be circled by Community Development Staff.

- _____ Completed **Application For Permit**
- _____ One (1) a copy of the **manufacturer's brochure**
- _____ Two (2) sets of **plans** showing framing details, foundation details, elevation and electrical information
- _____ Two (2) copies of the **Plat of Survey**, drawn to scale, showing all existing structures on the lot including dimensions, and showing the location of the shed with dimensions to the property lines and other structures on the lot
- _____ One (1) copy of the **Electrical Contractor's License**, if applicable (unless the homeowner is doing the work)

Completed by Community Development Staff upon review of submittal:

- _____ All documentation required for the permit application has been submitted.
- _____ Items circled have not been properly submitted and we are returning your submittal for completion of these items.

Building permit submittal checked by: _____

For questions regarding building permit requirements for Shed "B", please contact the Village of Carol Stream Community Development Department at (630)871-6230.

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Residential Shed "B" Permit Requirements

1. *Shed "B"*: Greater than 144 square feet: The shed is required to have foundation, concrete slab, electrical and gutters. Zoning setback restrictions apply to all sheds in the "B" category. Please call **871-6230** for specific requirements. The shed cannot be placed in any drainage/utility easement. The door opening is restricted to a maximum of four feet (4') wide.
2. *Height*: All sheds and storage buildings must be no more than one story, nor more than thirteen feet (13') in height at the highest elevation.
3. *Permit Application*: A completed permit application must be submitted along with two copies of the plat of survey showing all existing structures the exact location at which the proposed shed is to be constructed, and all existing structures on the lot. The distance to the shed from property line(s) and house must be included. Two sets of detailed plans showing concrete, electrical, etc. must be submitted. Electrical work must be installed by a licensed electrical contractor or by the homeowner.
4. *Code Requirements*: All sheds must conform to the International Residential Code 2003 and The National Electrical Code 2002.
5. *Placement on Lot*: (see attached)
6. *Lot Coverage*: Maximum ground coverage of all structures on the lot must not exceed thirty percent (30%) of the lot area, except for decks and pools which may increase the lot coverage to a maximum of thirty-five percent (35%). (See attached illustration.)
7. The foundation must be any one of the following three types:
 - A. Standard footing and foundation a minimum of forty-two inches (42") below grade with a minimum exposure of six inches (6") above grade.
 - B. Trench foundation a minimum of six inches (6") inches wide, forty-two inches (42") below grade with a minimum exposure of six inches (6") above grade.
 - C. Floating thickened slab with a thickened edge being a minimum of twenty inches (20") wide around the perimeter and extended eighteen inches (18") below finished grade with a minimum exposure of six inches (6") above grade.

- A Permit is Required Before Any Work Begins -

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Residential Shed “B” Permit Requirements, continued.....

8. *Inspections:* Shed “B” requires footing/foundation, slab, framing, and rough electrical inspections, and a final inspection upon completion before occupancy or use. Call **871-6230** to schedule inspections at least twenty-four (24) hours in advance.
9. *Bonds:* A Parkway Preservation Bond will be required for concrete work. When work is complete, contact the Engineering Services Department at **871-6220** to schedule an inspection of the parkway area. If no damage has occurred, the Village will refund the bond amount submitted.

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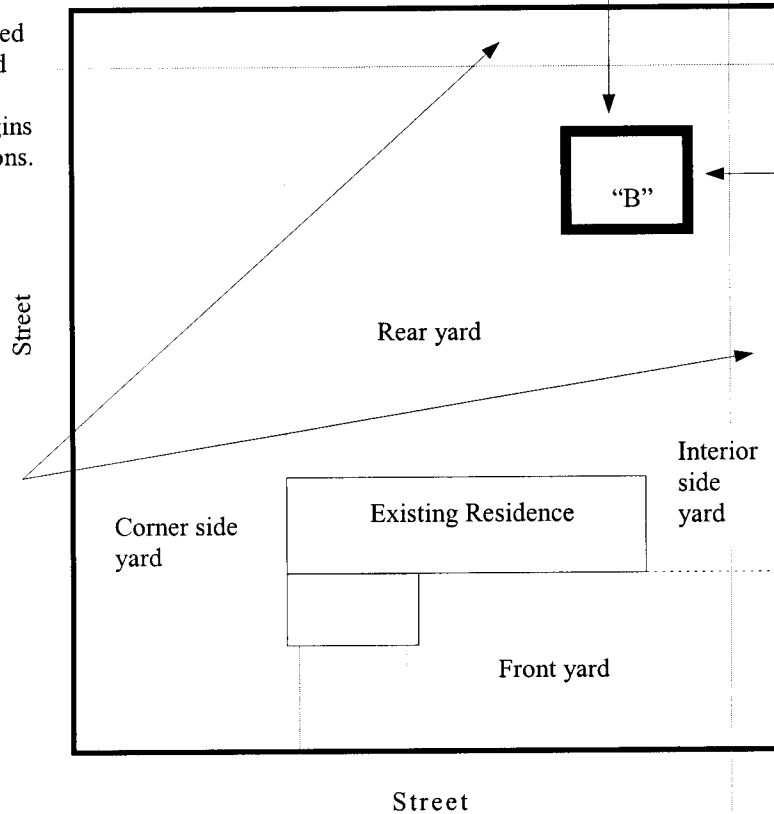
Residential Shed "B" Permit Requirements, continued.....

Shed "B"

Ten foot (10') minimum from rear lot line required but in no case can it be installed in any rear drainage/utility easement.

Property pins need to be located and marked before construction begins and for inspections.

Possible easement areas.



Shed "B":
Side yard setback must conform with zoning code requirements and in no case can it be installed in any side drainage/utility easement or adversely affect drainage.

No shed or accessory building may be erected in the front or corner side yard.

* Drainage/utility easements vary from lot to lot - check your Plat of Survey.

* Maximum ground coverage of all structures on the lot must not exceed thirty percent (30%) of lot, except for decks and pools which may increase lot coverage to a maximum of thirty-five percent (35%).

- A Permit is Required Before Any Work Begins -